



Buckingham Town Council

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Town Clerk: Claire Molyneux

PLANNING
COMMITTEE

Tuesday, 31 December 2024

Councillors,

You are summoned to a meeting of the Planning Committee of Buckingham Town Council to be held on Monday 6th January 2025 at 7pm in the Council Chamber, Cornwalls Meadow, Buckingham, MK18 1RP.

Please note that the meeting will be preceded by a Public Session in accordance with Standing Orders 3.e and 3.f, which will last for a maximum of 15 minutes. Members of the public can attend the meeting in person. If you would like to address the meeting virtually, please email committeeclerk@buckingham-tc.gov.uk or call 01280 816426 for details.

The meeting can be watched live on the Town Council's YouTube channel here:

<https://www.youtube.com/channel/UC89BUTwVpjAOEIdSlfcZC9Q/>

Claire Molyneux
Town Clerk

AGENDA

1. Apologies for absence

Members are asked to receive apologies for absence.

2. Declarations of interest

To receive declarations of any personal or prejudicial interest under consideration on this agenda in accordance with the Localism Act 2011 Sections 26-34 & Schedule 4.

3. Minutes

To note that the minutes of the Planning Committee Meetings held on 2nd December 2024 and 16th December 2024 will be presented at the February Planning Committee meeting.

4. Buckingham Neighbourhood Plan/Vale of Aylesbury Plan/Buckinghamshire Local Plan

To receive any update.



Twinned with Mouvaux, France;

Neukirchen-Vluyn, Germany



Members are reminded when making decisions that the Public Sector Equality Duty 2010 requires Members to have due regard to the need to: Eliminate unlawful discrimination, harassment and victimisation and other conduct that is prohibited by the Act, advance equality of opportunity between people who share a characteristic and those who don't, and to foster good relations between people who share a characteristic and those who don't. All Committee documents can be found on the Buckingham Town Council's website. Alternatively, the Clerk can send you a copy of any minutes, reports, or other information. To do this, send a request using the contact details set out above.

5. Planning applications

For Member's information the next scheduled Buckinghamshire Council – North Buckinghamshire Planning Area Committee meetings are on Wednesdays 8th January and 5th February 2025 at 2.30pm. Strategic Sites Committee meetings are on Thursdays 16th January and 13th February 2025 at 2pm.

Additional information provided by the Clerk.

[PL/116/24](#)

To consider a response to planning applications received from Buckinghamshire Council and whether to request a call-in.

The following application was circulated by email due to a request for an extension of response time being refused. A majority of the Committee responded, agreeing that the response to the amended description considered at the 11th November meeting be re-sent, as the revised drawings submitted were the same. The text of the response sent is in the Clerk's Report.

1. 24/03712/AGD White House Farm, Bourton Road, MK18 1DT
Details required for siting of proposed agricultural building ref.
24/03028/AGN
Nicholson

2. 24/03816/ADP Land to West of Osier Way Buckingham Ring Road
Submission of reserved matters details of appearance, landscaping, layout and scale, for 9 custom built dwellings pursuant to outline planning permission 19/00148/AOP (outline planning permission (with all matters other than means of access reserved) for a residential development of up to 420 dwellings (including affordable housing), and associated infrastructure including provision of open space (including formal playspace); car parking; new pedestrian and cycle linkages; landscaping and drainage works (to include SuDS attenuation and two new accesses off Osier Way and one new access off Gawcott Road. Includes demolition of the existing pigsty).
Keith [Vistry Northern Home Counties]

Amended plans

3. 24/01965/ADP Land off Osier Way East of Gawcott Road and South of Buckingham Ring Road
Submission of reserved matters details of appearance, landscaping, layout and scale, pursuant to outline planning permission 19/00148/AOP (outline planning permission (with all matters other than means of access reserved) for a residential development of up to 420 dwellings (including affordable housing), and associated infrastructure including provision of open space (including formal playspace); car parking; new pedestrian and cycle linkages; landscaping and drainage works (to include SuDS attenuation and two new accesses off Osier Way and one new access off Gawcott Road. Includes demolition of the existing pigsty)). (Phase 2)
Vistry Wates (Buckingham) LLP

6. Planning decisions

To receive for information details of planning decisions made by Buckinghamshire Council.

Approved

Application	Site address	Proposal	BTC response
23/03607/APP	Land between 38 Moreton Rd. and the Old Police Station	7 houses with access, car parking, landscaping and associated works	Oppose and call-in*
24/03280/APP	9 Threads Lane	Single storey rear extension	No objections

* Call-in advised not to be actioned 2/9/24

Refused

Application	Site address	Proposal	BTC response
24/02745/APP	27 Osberg Road	Conversion of carport to study & washroom (retrospective)	Oppose
24/03221/APP	24 London Road	Front & rear extensions, raising roof, rear facing dormer	Oppose
24/03293/APP	Alder House, Verney Close	Conversion of undercroft to residential unit, erection cycle store & bin store	Oppose

Not for consultation**Approved**

Application	Site address	Proposal	BTC response
24/03435/ATC	1 Salisbury Cottages, Bath Lane	Crown reduce 1 apple tree away from overhead wires	No objections

7. Buckinghamshire Council Committee meetings

- 7.1 N. Bucks Area Planning Committee (8th January 2025) *No Buckingham applications*
- 7.2 Strategic Sites Committee (16th January 2025)
- 7.3 Growth, Infrastructure and Housing Select Committee (30th January 2025)
- 7.4 Transport, Environment & Climate Change Select Committee (13th February 2025)

8. Enforcement

To receive for information the following actions taken by Buckinghamshire Council.

- 8.1 Issue of an Enforcement Notice for the installation of signage/advertisements to the front (west facing) elevation of the building and the unauthorised exterior painting of the front (west facing) elevation of the building consisting of windows, window architraves, fascia, balustrade, shop fronts, shop cornice, central shop pediment, doors, door architraves and door reveals at 18 Castle Street (a Listed Building). *[Dipalee/Thai Lounge]*
- 8.2 Issue of an Enforcement Notice for the installation of signage/advertisements on the front of the building without permission for the installation of signage/advertisements to the front (west facing) elevation of the building and the unauthorised exterior painting of the front (west facing) elevation of the Building consisting of windows, window architraves, fascia, balustrade, shop fronts, shop cornice, central shop pediment, doors, door architraves and door reveals at 19 Castle Street (a Listed Building). *[Essentials]*
- 8.3 Issue of a Listed Building Temporary Stop Notice prohibiting, from the date on which the notice takes effect *[17th December 2024]*, the removal, replacement or works to windows; internal works comprising subdivision of rooms, removal of flooring, removal of plaster, installation of plasterboard or insulation, works to the roof comprising removal, replacement or installation of roof tiles or coping tiles, re-pointing on east and west elevations at 15 Church Street *[Grade II Listed]*

9. Matters to report

Members to report any damaged, superfluous and redundant signage in the town, access issues or any other urgent matter.

10. Chair's announcements – for information only

11. Date of the next meeting: Monday 3rd February 2025

To Planning Committee:

Cllr. T. Allen

Cllr. M. Cole JP Chair

Cllr. F. Davies

Cllr. L. Draper

Cllr. J. Harvey

Cllr. A. Mahi

Cllr. J. Mordue

Cllr. L. O'Donoghue

Cllr. A. Ralph Vice Chair

Cllr. A. Schaefer Town Mayor

Cllr. R. Stuchbury

Cllr. M. Try

Buckingham Society Co-opted Member

BUCKINGHAM TOWN COUNCIL

PLANNING COMMITTEE

MONDAY 6th JANUARY 2025

Additional information on Planning Applications

Contact Officer Mrs. K. McElligott

1. 24/03712/AGD White House Farm, Bourton Road, MK18 1DT
 Details required for siting of proposed agricultural building ref.24/03028/AGN
Nicholson



The site is White House Farm north of the Bourton Road just before the Thornborough Bridge. There have been several applications recently, see table below; this is a re-visit of 24/03028/AGN which Members looked at on 14th October (No objections) and the revised description (from “Replacement agricultural building with solar panels” to “Replacement agricultural building”) on 11th November, commenting

Members had no objections to the revised plans, but regretted the loss of the solar panel array from the application, feeling that (a) the new building presented a side elevation to the Listed Building (where the applicant lives) so the solar panels would not be visible, and (b) the farm complex is not visible from the public domain so the harm done in heritage terms was outweighed by the benefits of the solar power generation. Members would like to see the solar panels reinstated.

The case officer considered that the conditions for Permitted Agricultural Development had not been met as the proposal affected the setting of a Listed Building (the farmhouse itself) and requested further details.

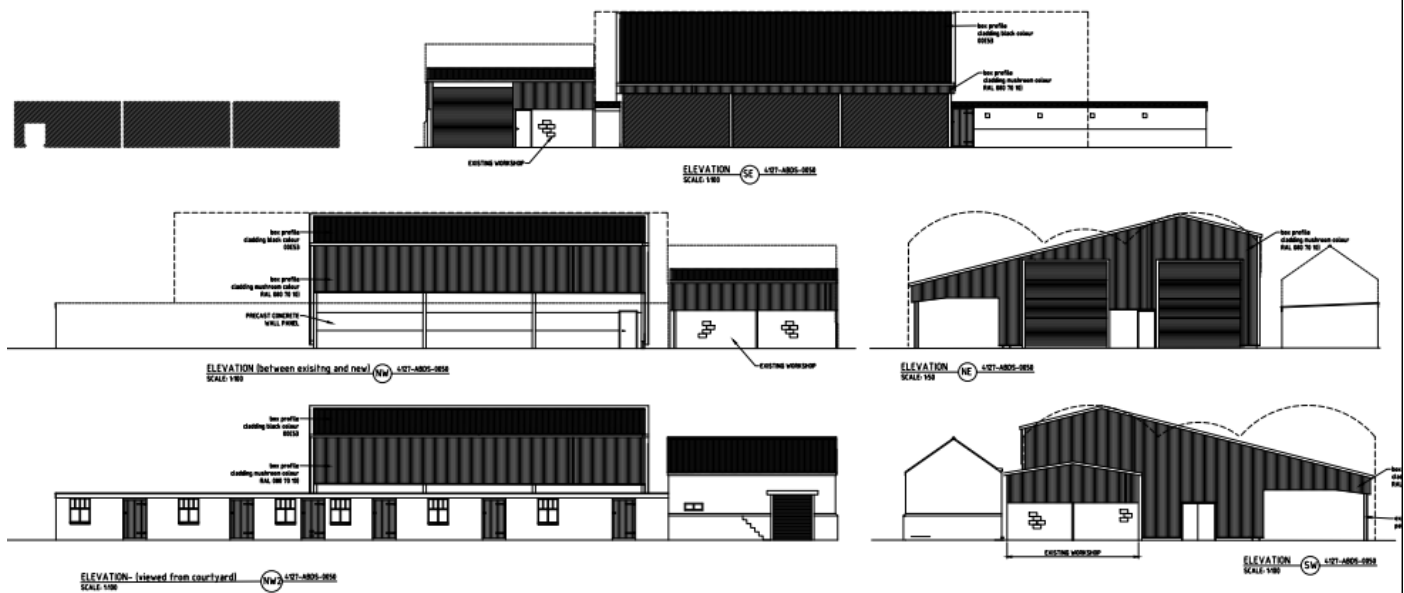
The proposal is to replace a derelict Dutch Barn with a machine shed on the same footprint, and with a long sloping roof facing south, the maximum height of which would be the same as the Dutch Barn. An open-sided cart shed will be under the lower end of the roof. In addition, a room in the old dairy behind the barn footprint is to be converted as a staff washroom.

There are no changes to the drawings submitted for 24/03028/AGN and for this application – both are Revision A, and there is no revised application form for this application, so Members are referred to PL/76/24 (14th October meeting) for the information and photographs supplied for the earlier application.

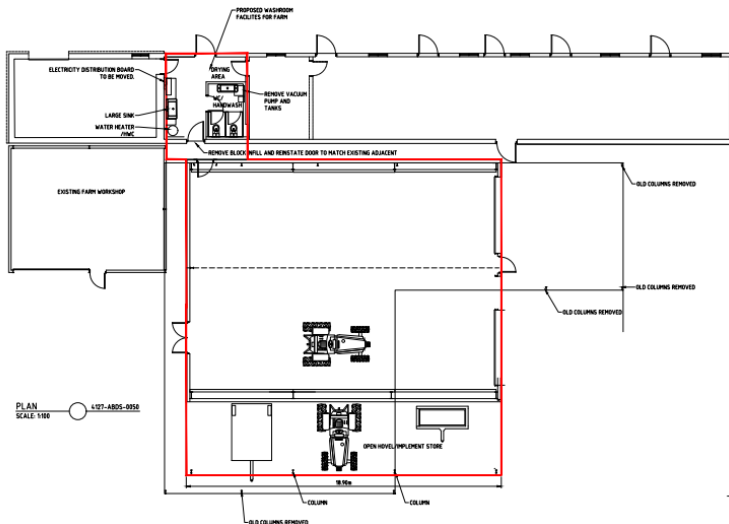
The Closing Date for responses was 3rd January 2025, and an extension was refused. The Committee was therefore circulated by email with the suggestion that the response to the amended previous submission be re-sent for the new application number. Six of the Committee replied, agreeing, and no abstentions or objections were received.

The following response was therefore submitted within the standard 21-day response period: *Due to the holiday period it was not possible to hold an additional meeting before the due date (3rd January 2025) so this application was consulted via email and the response agreed by a majority of the Committee and the Town Clerk.*

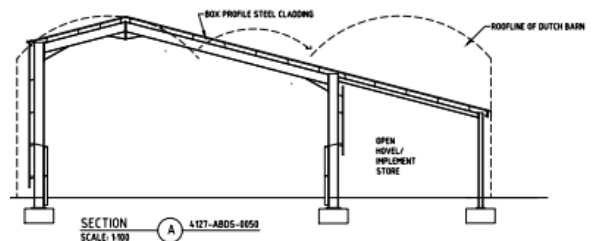
Members had no objections to the proposal, but regretted the loss of the solar panel array from the previous application, feeling that (a) the new building presented a side elevation to the Listed Building (where the applicant lives) so the solar panels would not be visible, and (b) the farm complex is not visible from the public domain so the harm done in heritage terms was outweighed by the benefits of the solar power generation. Members would like to see the solar panels reinstated.



Proposed elevations and materials



Floor plan



Section: dotted line shows profile of Dutch Barn roof bays

Property history

1	24/01001/ALB	Listed building application for externally and internally, removal of windows to the ground and first floor of the former Dairy, installation of a French Drain, removal of ceilings, removal of the staircase, steps, stone floor, side piers and central brick plinth to the former	Withdrawn
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		Dairy, removal of the kitchen fireplace, opening up works for two blind windows, and removal of timber framing in the Cellar (Part retrospective)	
2	24/01104/ALB	Listed building application for re-roofing works largely on a like-for-like basis, including re-slating, EPDM membrane to flat roof, removal of modern chimney, provision of rainwater goods, internal insulation to roof space (Retrospective)	Listed Building Consent
3	24/03028/AGN	Replacement agricultural building with solar panels <i>changed to</i> Replacement agricultural building	Agricultural - Details Required
4	24/03536/AB	Listed building application for structural works to former Dairy including removal and reinstatement of staircase together with associated works (part retrospective)	Pending consideration
5	24/03577/ALB	Listed building application for external works including re-opening of 2N ^o blind windows, replacement of others, provision of French Drain, provision of lime render and Keim paint (Part retrospective)	Pending consideration
6	24/03593/ALB	Listed building application for internal works (Part retrospective)	Pending consideration
7	24/03712/AGD	Details required for siting of proposed agricultural building ref 24/03028/AGN	Pending consideration

2. 24/03816/ADP

Land To West Of Osier Way Buckingham Ring Road

Submission of reserved matters details of appearance, landscaping, layout and scale, for 9 custom built dwellings pursuant to outline planning permission 19/00148/AOP (outline planning permission (with all matters other than means of access reserved) for a residential development of up to 420 dwellings (including affordable housing), and associated infrastructure including provision of open space (including formal playspace); car parking; new pedestrian and cycle linkages; landscaping and drainage works (to include SuDS attenuation and two new accesses off Osier Way and one new access off Gawcott Road. Includes demolition of the existing pigsty)



Site layout plan, Phase 4 (part)

The site is part of Phase 4 of the Osier Way development. Note that this is not as described in the approved Design Code (see phasing plan below) – Phase 4 is now only the darker green area with the nine houses facing the access from Gawcott Road and the four houses facing the Gawcott Road itself, continuing the line of existing houses. The latter four are labelled with names of some of the standard designs and are

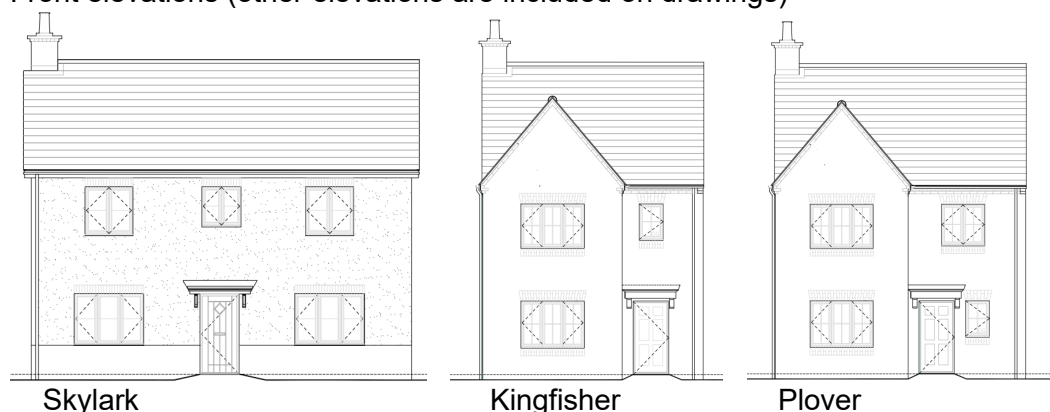
presumably therefore not 'custom' or 'self-build' offerings. The paler green area has been incorporated into Phase 2 and contains 10 sale houses and 18 Affordable units (circles on the roof areas on the plan above, orange spots on the site layouts for the next application) of which four are maisonettes with 'accessible' flats (not on this plan, blue spots on the site layouts below) on the ground floor and parking bays to disabled dimensions.

9 detached houses with garage and 2 driveway parking spaces are proposed; these are offered with two alternative layouts for the ground floor and two for the first floor, for the customer to select from. The designs are named for birds – the main estate designs are all named for trees.

These are Skylark (2 x 3-bedroom); Kingfisher (4 x 3-bedroom) and Plover (3 x 3- or 4-bedroom according to choice, see table) and the alternatives offered are:

Skylark			
Ground floor choices		First floor choices	
Open-plan kitchen/diner with breakfast bar	Separate kitchen & dining room	3 bedrooms (2 double, 1 single) 1 bathroom (centre front) 1 en-suite (at rear) No study	3 bedrooms (2 double, 1 single) 1 family bathroom (in place of en-suite) No en-suite Study (centre front)
Living room extends from front to back of floorplan; cloakroom centre rear; dining room/area has double doors to garden in both layouts			
Kingfisher			
Ground floor choices		First floor choices	
Open plan kitchen/diner	Separate kitchen & dining room	3 bedrooms (2 double) 1 bathroom (front right) 1 en-suite (at side) No study	3 bedrooms (2 double) 1 family bathroom (in place of en-suite) No en-suite Study (front right in place of bathroom)
Cloakroom between kitchen and dining room extended to provide utility space	Cloakroom only, no utility room due to needing separate door from hall to kitchen		
Living room to left of front door; dining room/area has double doors to garden in both layouts			
Plover			
Ground floor choices		First floor choices	
Open plan kitchen/diner	Separate kitchen/ breakfast area & dining room	4 bedrooms (2 double, 2 single) 1 bathroom 1 en-suite No study	3 bedrooms (2 double, 1 twin) 1 bathroom in place of en-suite No ensuite Study in place of bedroom 4
Utility room in place of breakfast area	No utility room because of separate door to kitchen from hall		
Living room to left of front door and cloakroom to right; dining room/area has double doors to garden in both layouts			

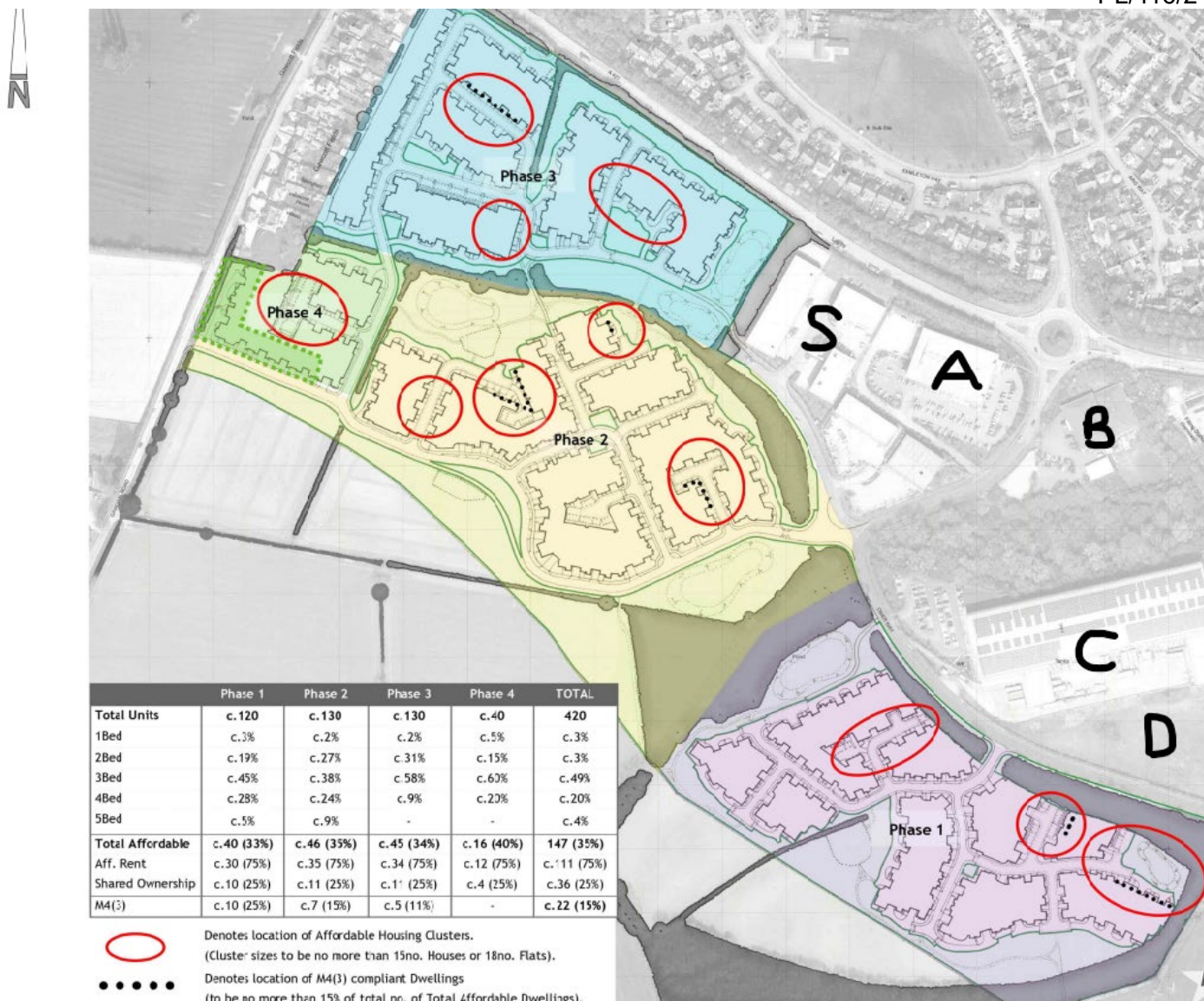
Front elevations (other elevations are included on drawings)



Skylark

Kingfisher

Plover



The original phasing plan (19/B0148//DIS, discharged December 2023) + adjacent buildings labelled. The boundaries and house numbers have since been adjusted, see individual site boundary drawings in this report.

Phase 1 – 22/02689/ADP Phase 2: 24/01965/ADP Phase 3: 24/01966/ADP Phase 4: 24/03816/ADP
 A: Aldi B: bcq C: Spice Factory D: 'Buckingham 40' (22/01498/APP) S: Swan Business Centre

Application history for both application 2 and application 3

1	19/00148/AOP	Outline Planning Application (with all matters other than means of access reserved) for a residential development of up to 420 dwellings (including affordable housing), and associated infrastructure including provision of open space (including formal play space); car parking; new pedestrian and cycle linkages; landscaping and drainage works (to include SuDS attenuation) and two new accesses off Osier Way and one new access off Gawcott Road. Includes demolition of the existing pigsty	Approved
2	22/02689/ADP (Phase 1) 121 dwellings	Erection of 121 dwellings along with landscaping, garages, roads, and all ancillary works following outline permission ref: 19/00148/AOP.	Approved
3	23/01545/DIS	Application for approval of details subject to condition 14 (drainage) of planning approval ref 19/00148/AOP	Does not satisfy requirements
4	24/01927/ADP	Submission of details of appearance, landscaping, layout and scale to Outline Planning Application (with all matters other than means of	Pending Consideration

		access reserved) for a residential development of up to 420 dwellings (including affordable housing), and associated infrastructure including provision of open space (including formal playspace); car parking; new pedestrian and cycle linkages; landscaping and drainage works (to include SuDS attenuation) and two new accesses off Osier Way and one new access off Gawcott Road. Includes demolition of the existing pigsty pursuant to outline planning permission 19/00148/AOP (Infrastructure works to deliver the spine road)	
5	24/01965/ADP (Phase 2) 152 dwellings	Submission of reserved matters details of appearance, landscaping, layout and scale, pursuant to outline planning permission 19/00148/AOP (outline planning permission (with all matters other than means of access reserved) for a residential development of up to 420 dwellings (including affordable housing), and associated infrastructure including provision of open space (including formal playspace); car parking; new pedestrian and cycle linkages; landscaping and drainage works (to include SuDS attenuation and two new accesses off Osier Way and one new access off Gawcott Road. Includes demolition of the existing pigsty)	Pending Consideration
6	24/01966/ADP (Phase 3) 134 dwellings	Submission of reserved matters details of appearance, landscaping, layout and scale, pursuant to outline planning permission 19/00148/AOP (outline planning permission (with all matters other than means of access reserved) for a residential development of up to 420 dwellings (including affordable housing), and associated infrastructure including provision of open space (including formal playspace); car parking; new pedestrian and cycle linkages; landscaping and drainage works (to include SuDS attenuation and two new accesses off Osier Way and one new access off Gawcott Road. Includes demolition of the existing pigsty)	Pending Consideration
7	24/03816/ADP (Phase 4, part) 9 of 13 dwellings	Submission of reserved matters details of appearance, landscaping, layout and scale, for 9 custom built dwellings pursuant to outline planning permission 19/00148/AOP (outline planning permission (with all matters other than means of access reserved) for a residential development of up to 420 dwellings (including affordable housing), and associated infrastructure including provision of open space (including formal playspace); car parking; new pedestrian and cycle linkages; landscaping and drainage works (to include SuDS attenuation and two new accesses off Osier Way and one new access off Gawcott Road. Includes demolition of the existing pigsty)	Pending Consideration

Amended plans

3. 24/01965/ADP

Land off Osier Way East of Gawcott Road and South of Buckingham Ring Road

Submission of reserved matters details of appearance, landscaping, layout and scale, pursuant to outline planning permission 19/00148/AOP (outline planning permission (with all matters other than means of access reserved) for a residential development of up to 420 dwellings (including affordable housing), and associated infrastructure including provision of open space

(including formal playspace); car parking; new pedestrian and cycle linkages; landscaping and drainage works (to include SuDS attenuation and two new accesses off Osier Way and one new access off Gawcott Road. Includes demolition of the existing pigsty)). (Phase 2)
Vistry Wates (Buckingham) LLP

The 70 new drawings submitted on 20th December can be roughly divided into two types:

1. Site plans reworked in reaction to comments on the original plans made by Highways and Thames Valley Police's Crime Prevention Design Adviser. The Housing Officer finds the numbers exceed the precise requirement which leaves other phases able to include fewer. Every plan – landscape, refuse wagon tracking, bin collection points, parking arrangements, boundaries and materials – has had to be re-drawn to suit the new road layout.
2. House type drawings (plans and elevations) which have the updated plot numbers for each design. In some cases an individual plot may have the same house type, but rotated 90°, or 'handed' (reflected/reversed), to allow for windows to overlook public areas or parking bays; others may have a different design with side windows exchanged for the original without, for the same reason. It has made no difference to the total number of houses of the various sizes. Windows must be 'active' ie to habitable rooms like living rooms or kitchens, and not to bathrooms with frosted glass.

Highways comments included

- Planters are proposed on the shared surface roads (no. 3) and the gap between these planters and the inside edge of the carriageway is approximately 2m. Parked vehicles could block pedestrian access. The gap could also create confusion between cyclists and motorcyclists and other road users. It might therefore be preferable to not have a gap and for the planters to be tight to the carriageway edge. In addition, the planters are positioned close to driveways and may need to be shifted slightly to ensure access in and out of parking spaces. This should be addressed. **There is some evidence that it has been addressed.**
- It is noted that there are changes in surfacing between the different roads and streets, however it is unclear whether raised junctions are proposed to highlight the change and keep speeds low, particularly at junctions. This should be clarified.
- There are no details of refuse vehicle tracking and this is required to demonstrate that a refuse vehicle can adequately access, turn and manoeuvre within the site. **This is now remedied**
- The proposed parking provision is considered satisfactory in line with the adopted parking standards including visitor parking which is dispersed across the development. There are however no details of electric vehicle charging spaces and cycle parking and this is required to ensure adequate provision and comply with the VALP. **This has also been remedied and every dwelling now has a charging point, and those without garages have a garden shed.**

The CPDA's comments can be summarised as (examples were listed; all the referenced concerns have been adjusted)

- Some houses have no visibility over their vehicle parking and sightlines are likely to be obscured by fencing and other parked vehicles.
- If parking is inconveniently sited residents returning from shopping may park in another plot's bay when unloading, which causes friction with neighbours
- Some house designs provide no surveillance to the public realm from the side elevation, and some have only obscure-glazed bathroom windows.
- Rear courtyard parking should be avoided as it presents numerous concerns and complications. Surveillance – located next to side and rear elevations where the boundary treatments are high, preventing clear views out to this space.
- Exposing vulnerable elevations – side and rear elevations are the point of entry for the majority of burglaries and here plots are exposed, some of which benefit from the parking court
- Lighting – located at the rear of the properties and in close proximity of garden spaces it will be difficult to light this space to a sufficient level without light spill into the garden spaces. Occupants should be able to walk safely to and from their vehicles assessing the space around them. In addition unless there is a management company associated with this space there is likely to be issues relating to the cost and overall control of lighting this area. In previous developments we have seen lighting secured in such spaces from a single plot, with its occupants in ultimate control

of the lighting scheme. This has been particularly prevalent issue where the parking and the access is located on an un-adopted highway.

- Parking and neighbourhood disputes have a significant impact on Thames Valley Police resources. Eg. consider the potential for friction should plot 372 drive transit type vehicles which will be now parked directly to the front of plot 373 and the window into the lounge area.

The Housing Officer noted that

- The Buckingham Neighbourhood Plan requires a percentage of 35%; on a site containing 152 dwellings, we would expect a minimum of 53 to be affordable homes. We note that the Housing Tenure Plan proposes a total of 60 affordable homes. This number would be satisfactory.
- In accordance with H1a the type, size, tenure, and location of affordable housing will be agreed with the council, taking account of the council's most up-to-date evidence regarding local market conditions. The most current evidence for VALP supports a tenure split of 80% affordable rent and 20% intermediate housing. Therefore, minimum numbers of affordable housing for rent required would be 42 and numbers of homes for low cost home ownership would be 11. We note that the Affordable Housing Tenure Plan proposed is 47 homes for Affordable Rent and 13 homes for Shared Ownership. This mix would be satisfactory.
- They should not be distinguishable from the open market housing in terms of overall design details, build quality and materials, nor by layout or separation from general market housing. The affordable housing should be fully integrated into the overall scheme layout with clusters proportionate to the size of each site or phase where feasible. Clusters should not exceed fifteen dwellings (eighteen if including flats) subject to considerations of the overall scale and circumstances of the site.



The Affordable Housing on the new road layout. Blue = Affordable Rent (47); Orange = Shared Ownership (13)

* 2-storey maisonettes; ground floor accessible (5) * bungalows with accessibility (4)

None of the Affordable Housing has a garage, and very few have on-plot (driveway) parking; the majority of the Sale housing has both.



Original ▲ and revised ▼ housing layout (principal changes ringed; details below)



Most of the Visitor parking is in laybys on the outside kerb of the perimeter roads. None of it is provided with an EV charging point.

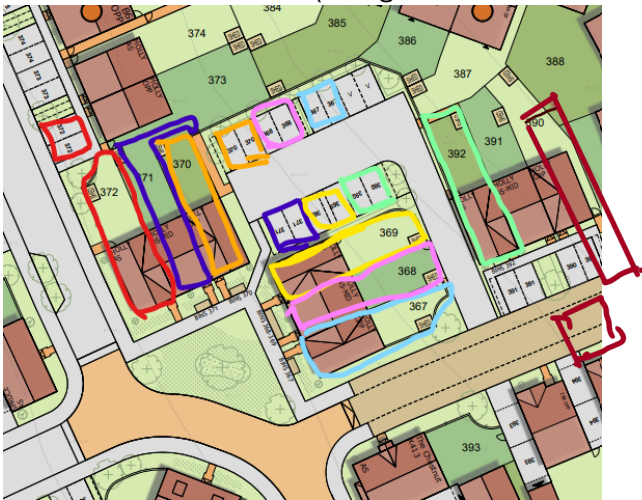


Plots 313 – 323 & parking bays – original layout



New layout gives better surveillance of LEAP but parking is further away

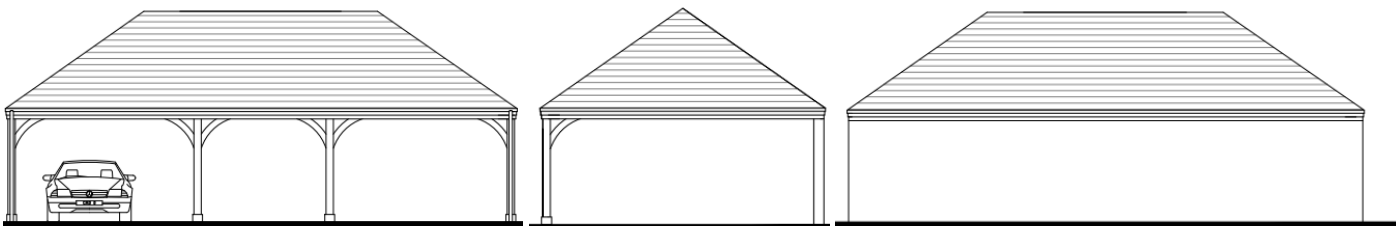
(orange dots = Affordable Housing; S = shared surface road)



The parking spaces for each house are colour-matched to the house outline in each drawing
 Parking court: plots 367, 368, 369, 370, 371, 372 & 392 + 2 visitor spaces. Original layout.

Amended layout: the two visitor spaces no longer feature, Plot 387 has lost some of its garden, and a 'car barn' has been introduced. The front paths have also been altered.

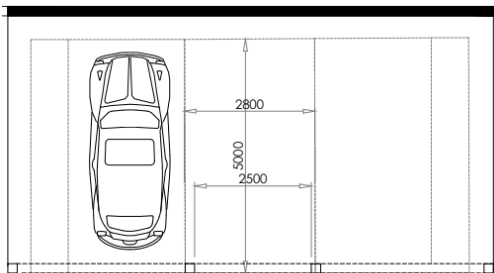
The 'car barn' is open at the front and sides and its central bay is 2.5m between roof supports, rather than the 2.8m at each end.



FRONT ELEVATION

SIDE ELEVATION

REAR ELEVATION



FLOOR PLAN

Waste & Recycling:

A tracking plan has been supplied showing the refuse lorry can access most of the streets and turn to emerge forwards.

7 bin collection points are shown on the Refuse Strategy drawing, with haul distances for the residents and the operators. Guideline maximum haul distances are 25m for residents and 15m for operators. Other residents are able put their bins out on the street in front of the house, although some terrace houses have awkward or lengthy rear access.

The figures given for the BCPs are, with non-compliant distances highlighted

Plot numbers	Residents' haul distance to collection point	Operators' haul distance to nearest suitable road
292-296	33m	15m
297-300 & 312	25m	15m
301-304	25m	6m
367-371	26m	0m (BCP accessible on entrance to parking court)
392	12m	17m
397-399	28m	4m
400-402	29m	15m
Various culs-de-sac	Not stated	10m 17m 10m

Members response to the original application is appended for reference (Full Council 29th July 2024)

- *Members regretted the reversion to pattern-book designs without any acknowledgement of distinctive Buckingham features as outlined in the Vision & Design Statement.*
- *Though many corner dwellings had a chimney, the unrelieved rooflines between, and the elevations generally, were variously described as 'bland' and 'boring'.*
- *There was no indication on the Parking Strategy Plan of the placement of EV charging points, especially for mid-terrace dwellings without a driveway or garage, nor any indication of availability in visitor parking bays....*
- *...nor any indication of the how the banks of perpendicular parking bays in front of the Affordable Housing and separated from the houses by a public pathway are to be serviced.*
- *There is no indication of compliance with Buckingham Neighbourhood Plan Policies I2 Renewable Energy (solar panels)), I3 Rainwater Collection (use of grey water).*
- *With reference to I5 Sewage Management (Capacity of Water Recycling Centre), Members noted the caveats in a recent Anglian Water response to applications 23/01636/ADP and 23/02826/ADP (Walnut Drive, Maids Moreton) and asked that the matter of sewage disposal be settled before any planning decision is made, as there is as yet no comment from Anglian Water on this Reserved Matters application. They also noted that 23/01545/DIS, the discharge of condition has not yet been satisfied.*
- *Referring back to experience with Lace Hill, highspeed broadband connections to each plot must be ensured before occupation.*
- *Similarly the crossings, footways and other Highway Works listed in Appendix B of the s106 must be created before first occupation.*
- *Affordable Housing should be indistinguishable from Sale housing, but*
 - *None of the Affordable dwellings has a chimney;*
 - *None of the Affordable dwellings have a garage and few have driveway parking;*
 - *A lot of the grouped houses have banks of perpendicular parking bays in front which (a) identifies the tenure type, and (b) does not enhance the street scene in any way;*
 - *None of the Affordable house types are named, even though some are almost identical to the named house types, which indicates a negative attitude to those who cannot afford to buy....*

- Reinforced by the use of lower quality materials; every house should be of the same build quality and materials, including unseen items like insulation thickness.
- There is no Social Rent housing proposed; people (eg many Key Workers) who cannot afford 80% market rent still need housing.
- Some tandem parking for Sale terrace housing is remote from the actual dwellings and therefore has no surveillance over the vehicle(s).
- Similarly the bays in the parking court for plots 367-372 are not easily visible from the owner's house due to the angles involved.
- Some of the paths to rear access gates are very long, and that haul length does not appear to have been included in the measured length from the frontage to the Bin Collection Point, where applicable; this is likely to lead to bins being left at the front of the house in between collections, to the detriment of the street scene.
- There are 11 BCPs serving 29 dwellings – 5 are 25m or more, and the longest is 34m. 3 of the operative's haul distances are 15m, the maximum.
- Wire-cut bricks look (and doubtless are) cheap; stock bricks should be specified throughout.
- The restricted palette of bricks, roofing and render should be augmented by different coloured paint for doors and windows to provide more variety in the street scene and help visitors to navigate the estate.

Members also noted that – once again – there is open air leisure provision for children, but no undercover places to meet or exercise for adults. Taking this estate together with St. Rumbold's Fields, diagonally across the Gawcott Road/bypass roundabout, that is over 800 houses with no facilities for social activities that might help build a community rather than an uninspiring dormitory.

Furthermore there is no Infants school within walking distance for a 5-year-old, which will increase traffic movements (the school in Gawcott only caters for Junior ages; the Infants section is in Tingewick).

Buckingham Town Council would also like the opportunity to maintain the Public Open Spaces and play areas.

KM
29/12/24